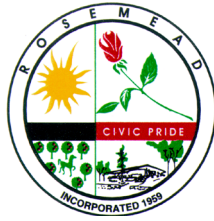


MAYOR:
SEAN DANG

MAYOR PRO TEM:
STEVEN LY

COUNCIL MEMBERS:
SANDRA ARMENTA
MARGARET CLARK
POLLY LOW



City of Rosemead

8838 E. VALLEY BOULEVARD
ROSEMEAD, CALIFORNIA 91770
TELEPHONE (626) 569-2100

**NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION
AND
NOTICE OF PUBLIC HEARING
BEFORE THE PLANNING COMMISSION
OF THE CITY OF ROSEMEAD ON DECEMBER 19, 2022**

NOTICE IS HEREBY GIVEN that the Rosemead Planning Commission will consider a Mitigated Negative Declaration and will conduct a public hearing to consider the Mission Villas Residential Project on **Monday, December 19, 2022 at 7:00 PM**, at Rosemead City Hall, 8838 Valley Boulevard, Rosemead. Remote public comments will be received by calling (626) 569-2100 or via email at publiccomment@cityofrosemead.org by 5:00 p.m. on December 19, 2022. A live phone call option may also be requested by calling the number provided above. All comments are public record and will be recorded in the official record of the City. If you have a request for an accommodation under the ADA, please contact Ericka Hernandez, City Clerk, at (626) 569- 2100.

CASE NO.: GENERAL PLAN AMENDMENT 22-01, ZONE CHANGE 22-01, PLANNED DEVELOPMENT 22-01, AND TENTATIVE TRACT MAP NO. 83705 – The City of Rosemead (hereafter referred to as “Lead Agency”) has completed an Initial Study (IS) of the proposed Mission Villas Residential Project located at 8601 Mission Drive (APNs: 5389-009-029, 5389-009-030, and 5389-009-031). The Project is located on a 3.435 gross acre site at the northeast corner of the intersection of Mission Drive and Walnut Grove Avenue in the City of Rosemead, California and is currently vacant. The Applicant (Borstein Enterprises) is proposing the development of 37 two-story dwelling units, each with an enclosed two-car garage. The units would include 29 single family dwelling units and eight duplex units (four of which will be affordable units). The dwellings will range in size from 1,546 to 2,351 square feet. Of the 37 units, 29 would be four-bedroom single family dwelling units, four would be three-bedroom duplexes, and four would be four-bedroom duplexes. The Project also includes 25 guest parking spaces. Access would be provided via one 40-foot-wide driveway on Mission Drive. In addition, the project will include new landscaping, decorative hardscape, exterior walls and lighting, and open space areas.

ENVIRONMENTAL DETERMINATION: The Initial Study has been undertaken to determine if the proposed project may have a significant effect on the environment. The Initial Study was prepared and completed in accordance with the California Environmental Quality Act (CEQA) Guidelines. On the basis of the Initial Study, the City of Rosemead has concluded that the project would have a significant impact, unless mitigated, therefore a Mitigated Negative Declaration (MND) was prepared. The MND reflects the independent judgment of the City as a lead agency per CEQA Guidelines. The Project site is not on a list compiled pursuant to Government Code section 65962.5.

Copies of the Initial Study and MND are available on the City's website and on file at the City of Rosemead Planning Division located at 8838 Valley Boulevard, Rosemead, CA 91770 and at the Garvey Center located at 9108 Garvey Avenue, Rosemead, CA 91770, for public

review. Any person wishing to comment on the adequacy of the MND must submit such comments, in writing, to the City of Rosemead Planning Division, Attn: Annie Lao, Associate Planner via mail at 8838 E. Valley Boulevard Rosemead, CA 91770 or via email at alao@cityofrosemead.org. Comments must be received within the **20-calendar day public review period** from **November 10, 2022 to November 30, 2022**.

Pursuant to California Government Code Section 65091, this public hearing notice has been published in at least one newspaper of general circulation within the local agency and has been mailed to all owners of real property as shown on the latest equalized assessment roll within 300 feet of the real property that is the subject of the hearing. Lastly, this notice is also posted onsite and in six (6) public locations, specifying the availability of the application, plus the date, time, and location of the public hearing. The Planning Commission Agenda and Staff Report will be available on the City's website under "Meeting and Agendas" and "City Calendar" (www.cityofrosemead.org) at least 72 hours in advance of the public hearing. Any person interested in the above proceedings may provide comments in support of, or in opposition to, the item(s) indicated in this notice by submitting in writing through email at publiccomment@cityofrosemead.org or by calling (626) 569-2100 by 5:00 p.m. on Monday, December 19, 2022.

Pursuant to Government Code Section 65009 (b), if this matter is subsequently challenged in court, the challenge may be limited to only those issues raised at the public hearing described in this notice or in written correspondence delivered to the City of Rosemead at, or prior to, the public hearing.

Notice and Publication Date: November 10, 2022