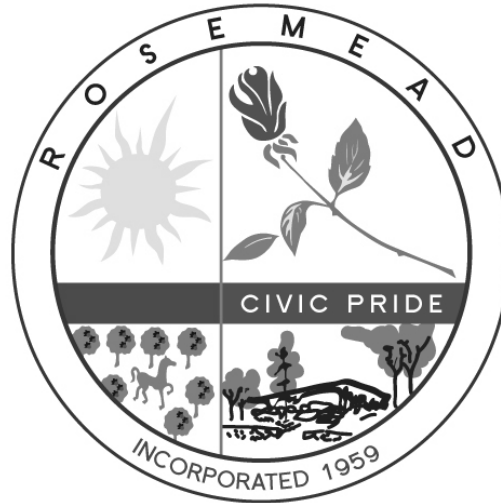


# CITY OF ROSEMEAD



## SINGLE FAMILY RESIDENTIAL DESIGN GUIDELINES

The Rosemead Single Family Design Guidelines became effective July 12, 2007, and were last modified by City Council Ordinance No. 933 on October 22, 2013.

# FORWARD AND OVERVIEW

- **PURPOSE:** Over the past decade, Rosemead has seen a resurgence of neighborhood development through the replacement and upgrade of its older homes. This trend is occurring throughout California and across the nation as communities respond to residents' changing needs. These design guidelines have been prepared to optimize opportunities arising with the changing face of Rosemead.
- **GOALS:** Five goals form the basis for these guidelines:
  - Promote the **orderly transition of neighborhoods**;
  - Provide tools to enhance residential properties and to **protect property values**.
  - Encourage **excellence in architectural design** through standards for style, massing, materials & colors.
  - Preserve **neighborhood compatibility** and community cohesion.
  - **Provide for design flexibility** that is sensitive to the surrounding neighborhood and environment.
- **APPLICATION:** To achieve the goals outlined above, these Design Guidelines incorporate a mix of standards, incentives and recommendations.
  - The **standards** are mandatory for all new residential development and remodels
  - The **incentives** encourage desirable features through offering modest increases in building area
  - The **recommendations** provide optional ways to comply with the goals and increase the likelihood of favorable staff comment and project approval.
- **ORGANIZATION:** The text begins with discussion of neighborhood compatibility, followed by site development standards, incentives, and a discussion of recommendations to assist homeowners and builders in the design of their homes.

- **GETTING STARTED:** To get the most out of this booklet, please note the following points:
  - The **illustrations** are provided to give form and context to these guidelines, but are only schematic;
  - The City values design creativity and encourages use of the **incentives** to achieve unique architectural styles;
  - Applicants are encouraged to **meet and talk with neighbors** about their goals and concerns before finalizing plans and seeking City approval;
  - Take the time to **look through these guidelines** before you begin the design process;
  - The **Planning Division welcomes your questions** and will gladly provide informal reviews as your plans develop;
  - Revisions to the City's policies & standards may not be reflected herein: **ask planning staff about any changes.**

- **ACRONYMS AND ABBREVIATIONS:**

Acronyms and abbreviations used frequently in these Design Guidelines are defined below.

- DRC = Development Review Committee
- CMU = Concrete Masonry Unit (wall type)
- CUP = Conditional Use Permit
- FAR = Floor Area Ratio
- LRV = Light Reflective Value
- SPR = Site Plan Review
- SF = Square Feet
- TSF = Thousand Square Feet

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# INTRODUCTION

The following design guidelines have been developed to allow Rosemead residents flexibility in the design of their homes, consistent with the goals outlined above – to provide an orderly transition of neighborhoods, enhance and protect property values, encourage excellence in architectural design, and preserve neighborhood compatibility and community cohesion. In setting these goals, the City has given a great deal of thought to the factors that contribute to a sense of community and excellent design: elements that are compatible and in harmony with the surrounding homes and neighborhood in which they are located, that respect the privacy of adjacent lots and do not restrict light or airflow, that maintain or enhance overall aesthetic values, and preserve property values.

The following design guidelines offer specific tools to achieve these goals. The tools are organized into four sections that address different aspects of design:

- SCALE AND MASS
- ARCHITECTURAL STYLE
- YARDS, FENCES AND ACCESSORY STRUCTURES
- ENTRIES, DOORS, AND WINDOWS

**All residential development standards can be found in the Zoning Code (Title 17 of the Rosemead Municipal Code). The complete and unabridged text of the Rosemead Municipal Code is available on line (<http://www.cityofrosemead.org>).**

Reserved

## DESIGN GUIDELINES

This section presents specific design standards, incentives and recommendations for Scale and Mass, Front Yard Design, Lot Coverage, Entries and Window Treatments, Fencing and Hedges, and Landscaping/Lighting/Accessory Structures. The Guidelines presented in this section are intended to supplement the zoning standards presented above. Where standards differ, the more stringent standard shall apply. All photo illustrations are schematic, intended only to facilitate understanding and foster creative ideas. Additional photo illustrations and design concepts are available for review and discussion at the City of Rosemead Planning Division.



Acceptable Design



Undesirable

# SCALE AND MASS

## GENERAL GUIDELINES

New dwellings and home remodels should be of a scale and a mass that harmonizes with surrounding homes and with the natural site features. The new homes and remodels should also convey a sense of proportion and compatibility with the human environment. There are many ways to accomplish these basic goals, and some design features to avoid.

**Ornamentation:** Design elements should strive to add visual interest by incorporating textured wall materials, true (i.e., not tacked-on) ornamental details (such as dormer windows, projecting balconies, bay windows, decks, patios, and breezeways) and projecting eaves. These treatments add visual interest while minimizing the overall impact of building mass, as illustrated below.



ACCEPTABLE



NOT ACCEPTABLE



**Bulk and Mass:** Another key element is to design the upper story with a 'lighter' character than the first floor. This anchors the building base while minimizing the overall impression of mass and bulk. Cantilevered forms, on the other hand, can accentuate the sense of mass and bulk, as can also occur with elevated building pads and front yard

areas. In general, elevations should be continuous within a neighborhood except in response to natural topographic variation. Provided below are illustrations that depict use of appropriate scale for structural and lot elements, as well as examples that depict excessive and disproportionate mass and scale.



Sensitive to Scale



Not Sensitive to Scale



**Structural Height and Roofline:** The height of the Building and the roofline height and layout both have a strong influence on the overall mass and scale of a home. In remodels, the new roofing should maintain the same plate height, slope, materials and ridgeline of the original structure. Flat roofs should be avoided by adding smaller geometric elements such as hip and gable framing, and pitched dormers. The number of angles should be carefully selected to avoid a disjointed, chaotic appearance.

Adjusting the height of an eave is another effective way to lower the mass and scale of a structure by lowering the building plate.

In all instances, the visual impact of the roof should be minimized and screening provided for all vents, flues, and skylights.



**Varied Roofline Height and Systems**



**Single Hip Roof**



**MULTIPLE ROOF FORMS CREATE A UNIQUE LOOK TO EACH HOUSE AND DIVERSIFY THE APPEARANCE OF THE STREETSCAPE**

## STANDARDS AND INCENTIVES

### ■ Standards:

- New homes and remodels shall not have more than two (2) floors.
- The maximum height for a two-story unit shall be thirty (30) feet.
- Total Floor area of the second floor, including areas designated as covered or uncovered balconies, shall not exceed seventy-five percent (75%) of the floor area of the first floor. For this calculation, floor area of the first floor shall only include first floor living area, and any floor area designated as garage floor area if the garage is attached.
- At least forty percent (40%) of the street-facing wall of the second floor shall be set back a minimum of ten (10) feet from the street facing wall of the first floor.
- The first floor side yard setback shall be ten percent (10%) of lot width or five (5) feet, whichever is greater. The second story setback on both sides shall not equal less than fifteen (15) feet when combined, but shall never be less than five feet. (See Rosemead Municipal Code for Corner Lot Setback Requirements)
- Any second floor wall that exceeds a length of twenty-four (24) feet shall be required to add one (1) element of articulation and a minimum two (2) foot "sitback" for a minimum of eight (8) feet of length. Eligible articulation features may include, but are not necessarily limited to: dormer windows, architectural shutters, balconies, bay windows and decks.
- A home that exceeds the size of the largest adjoining home by more than twenty percent (20%) shall be required to add, subject to a Site Plan Review approval, at least one (1) of the following features: roofline with height and plane changes, reduced eave height.
- When two (2) or more lots are merged, the allowed Lot Coverage and Floor Area Ratio shall be no larger than one hundred fifty 150% of the allowance that would occur for the largest single lot.
- Mechanical elements (roof-top and ground-level) must be screened from view.
- Demolition permits allowing the removal of an existing home in order to construct a new home on the same lot shall not be issued until building plans for the replacement structure have been reviewed and approved by the City of Rosemead Planning Department.

### ■ Incentives: The following 'scale and mass' incentives may be utilized to gain additional development area:

- A second story top plate that does not exceed twenty (20) feet in height
- A second floor fully contained within a pitched roof
- Both side yard setbacks that exceed the zoning minimum by more than five (5) feet

- A second floor setback that exceeds the zoning minimum by more than ten (10) feet on seventy five percent (75%) of the frontage
- A second floor setback that exceeds the zoning minimum by more than five (5) feet on one (1) side elevation
- A landscape plan that incorporates three (3) or more mature trees (twenty-four inch (24”) box or larger)
- Placement of the garage at the rear of the residential structure or a tandem garage design
- A new single-story home, instead of two-story
- Minimum eighteen (18) inch eave overhangs, with exposed decorative wood eave and rafter tails
- Usage windows that are recessed a minimum of four (4) inches on the front elevation

### **Other Suggestions and Recommendations**

- Building façades should be uniform throughout.
- Building materials should echo the neighborhood as a whole; natural materials are preferred, but high quality synthetic materials are also appropriate.
- Additions should generally be to the rear of the existing structure, and not to the front.
- Gutters and downspouts should be the same color as fascia or wall color, and fascia boards should be sized in proportion to overall home scale and style (generally no less than six (6) inches deep).
- The use of stucco-foam eaves, cornice treatments and lack of fascia boards is discouraged.
- Chimney design should also coordinate with the overall home scale, materials and style.
- Skylights should be placed away from front yard exposure and should incorporate flat, nonreflective glass.

# ARCHITECTURAL STYLE

## GENERAL GUIDELINES

Architectural style is a way of classifying architecture in terms of form, techniques, materials, and cultural influences that produce a distinctive look and play a central role in shaping the character of a neighborhood and a community as a whole. New homes should incorporate architectural style that is compatible with other homes in the neighborhood, and remodels should always be compatible with the design of the existing home. Two story additions should be designed to avoid a 'pop-up' appearance – too tall, too large, or disproportion to the original structure. Garages should not dominate the street view and architectural detailing should be provided when garages will face the street

The repletion of colors and textures can help tie a new structure to its surroundings. The use of a balanced color palette with at least one strong accent material is encouraged to lend visual interest and focus. However, the use of more than three colors an excessive number or variety of exterior colors and materials is strongly discouraged (to avoid creating a busy or jumbled appearance), as is the use of bright, glossy or unnatural colors or materials. Earth tones are generally best suited to the design styles found in Rosemead. Exposed gutters and downspouts should be colored to match fascia or wall materials.

To add depth and dimension, decorative details should not stop at a building corner, but instead wrap around the side (at least to an inside corner). Rough stucco finishes detract from overall appearance, as do piecemeal or tacked-on embellishments.

Although no style is prohibited in the City of Rosemead, all applications should demonstrate that the proposed design incorporates tasteful design elements and a respect for the neighborhood as a whole. Second story windows, for example, should not compromise the privacy of adjoining neighbors; lighting should not produce glare; wall placements should not block air flow or sunlight. Overall building height should be proportionate to the lot size, amount of landscaping and front yard setback.

These Design Guidelines seek to preserve and expand upon the use of distinctive architectural styles in Rosemead through the provisions that allow design flexibility and encourage the continued evolution of distinctive neighborhood styles while protecting the basic 'character of place.

## STANDARDS AND INCENTIVES

### ■ Standards:

- Remodels shall use matching materials, colors and designs found on the existing structure.
- Sidewall articulation shall be required on all exterior walls that are not separated from an adjacent home by more than twenty-five (25) feet.
- Reflective building materials shall be prohibited.
- Exterior paint colors shall not exceed a Light Reflective Value (LRV) greater than forty percent (40%).

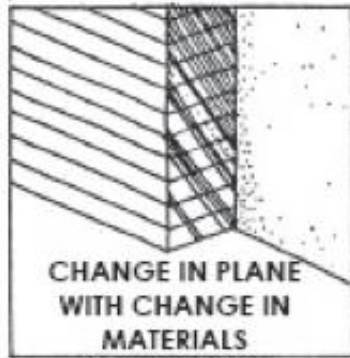
### ■ Incentives: The following 'architectural style' incentives may be utilized to gain additional design flexibility without the requirement for a permit or approval:

- A favorable staff recommendation will be given for CUP applications that incorporate, in staff's judgment, a unique and neighborhood-compatible overall architectural style and design and/or a positive aesthetic impact on the neighborhood as a whole.

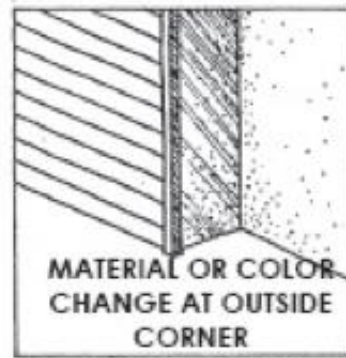
## Other Tips and Recommendations

- Building forms should be kept simple.
- The play of light & shadow add appeal and can be enhanced through projections, alcoves, canopies & varied elevations.
- Interior space can be enhanced without exterior bulk by using vaulted ceilings instead of high walls.
- Larger homes generally require more muted color and material themes than small homes.
- Second stories can be deemphasized with landscaped planters and decorative balconies.
- When horizontal or vertical siding is used as a major wall treatment, it should be used on all sides of the building.
- Environmental factors and energy costs should also be a high priority in residential building design. Heating and cooling costs can be reduced by using EPA 'energy star' windows with low-e coatings and vinyl/metal frames, by planting tall deciduous trees to provide shade on the east, west and south home exposures, and by including attic turbines to provide a low-cost vent for excess heat. Water costs can be reduced through use of efficient irrigation systems, native plant materials and low-consumption shower fixtures, toilets and irrigation systems. Overall environmental costs can be reduced by providing permeable open space and using renewable building materials.

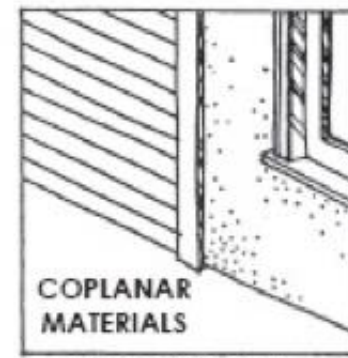
TRANSITIONING MATERIALS AT INSIDE CORNERS GIVES THEM A MORE SUBSTANTIAL APPEARANCE MAKING THEM APPEAR INTEGRAL TO THE STRUCTURE.



CHANGE IN PLANE WITH CHANGE IN MATERIALS  
ACCEPTABLE



MATERIAL OR COLOR CHANGE AT OUTSIDE CORNER  
UNACCEPTABLE



COPLANAR MATERIALS  
UNACCEPTABLE



Lack of Material Wrap

# YARDS, FENCES & ACCESSORY STRUCTURES

## GENERAL GUIDELINES

**Yard Design:** The character of a neighborhood is determined as much by the layout and design of its front yards as by the architectural style of its homes. In general, the amount of landscaped open space should be maximized, and the hardscape should be selected to enhance the natural materials while providing safe pedestrian and vehicular access. To create a soft and inviting appearance, the landscaping elements should be layered with low plantings in the foreground and higher

plantings at the rear. The addition of several mature plantings can be a highly effective way to give an established appearance to new construction.

Garage often represent another important aspect of front yard design, particularly when oriented to the street. Placement, roof design, exterior color, trim, landscaping and construction materials should all be selected to minimize the visual dominance of front-facing garages.



**Landscaped Yards**



**Not Landscaped**



**Accessory Structures:** Accessory structures can add functionality to a home, and with proper design and maintenance can also be visually compatible with the home and neighborhood. Key elements include the use of

complementary materials and colors, placement away from view of the front yard and public streets with appropriate landscaping and ornamentation, and modest size that is clearly subordinate to the main structure.



**Storage Buildings**



**Secondary Dwelling over Garage**

**Patio Covers:** Also considered to be accessory structures, can add functionality to a home, and with proper design and maintenance. Detached patio covers should be limited to rear yards only. They shall not occupy more than fifty (50%) of the required rear yard setback. Key elements include the use of complementary materials and colors, placement away from view of the front yard and public streets with appropriate landscaping and ornamentation, and modest size that is clearly subordinate to the main structure.



**Complementary Fencing Materials**

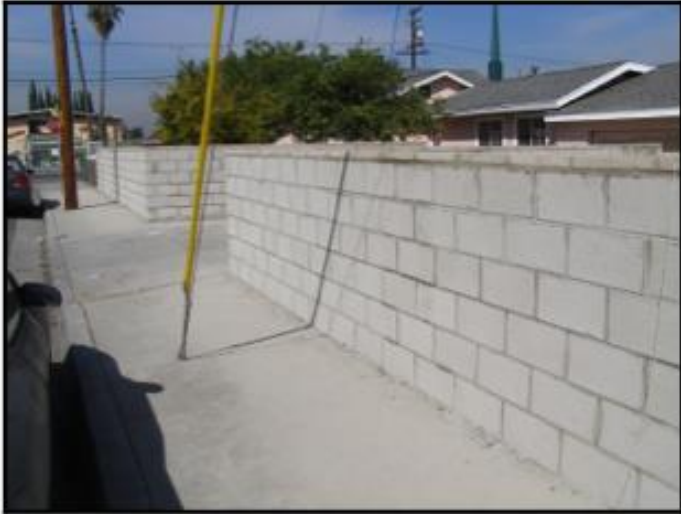


**Brightly Colored, Tall and Undesirable**

**Walls and Fences:** As with structural scale and mass, the design of a home should strive to maintain balance and continuity with the neighborhood as a whole. Walls and fences play a key role in this respect. A well designed front yard fence can add beauty and visual interest but front yard fences more often break up contiguous, landscaped yard views, create a sense of fortification, minimize the visibility of plant materials and present flat surfaces that may conflict with adjoining wall materials. Front yards should be entirely free of fencing where feasible, and front yard fencing should be as open and simple as possible where provided.



**Complementary Fencing Materials**



**Inappropriate Materials**



**Brightly Colored and Undesirable**

**Driveway and Pedestrian Accessway:** Pedestrian pathways and driveways are necessary for safe access and also create an entry statement to the home. Because these hardscape elements can occupy a large part of the front yard area, it is important that they be designed to complement – and ideally accentuate -- the home and neighborhood. To avoid excessive hardscape, the pedestrian access should be provided separate from the driveway, and both should be designed to blend with landscaping materials. The appearance of hardscape elements can benefit greatly from use of unusual and/or decorative materials such as tile, brick, flagstone, interlocking pavers, exposed aggregate, natural or colored concrete and decomposed granite.

## STANDARDS AND INCENTIVES

### ■ Standards:

- A Site Plan Review shall be required to install hardscape directly adjacent to a new or remodeled residential driveway.
- Residential front yard walls and fences may not exceed four (4) feet (including fencing, hedges or other material).
- New fencing or replacement fencing in any residential front yard shall require a Fence Permit.
- A CUP shall be required for the addition of any fill that would raise building pad or front yard elevation by more than twenty-four inches (24") above natural grade.
- Portable shade structures shall not be located in any residential side or front yard. Portable shade structures shall require a Site Plan Review in a residential rear yard.
- A Site Plan Review shall be required for any detached accessory building(s) greater than one hundred twenty (120) square feet, whether the total area is in one building or cumulatively in multiple buildings, including storage structures and workshops but not including required garages.
- All garages shall match the color scheme of the house. The roof shingle must match the house. The roof pitch and gable orientation should match the house.
- A CUP shall be required for any lighted outdoor sporting field or court (tennis, basketball).
- Separate secondary residential units may be permitted with the approval of a Site Plan Review, and CUP where applicable, if the proposal is fully compliant with the requirements set forth in the Zoning Code (Title 17 of the Rosemead Municipal Code).
- Hedges shall not encroach onto a curb or sidewalk or over a lot line under any circumstance.
- Landscaping shall not be permitted to limit or restrict the line of sight on any public roadway under any circumstance.
- Vehicles may not be parked on any lot except in the garage, or on the driveway or parking apron or other hardscaped surface previously approved by the Planning Division.
- A minimum of one (1) tree shall be planted in new or remodeled residential front yards for every fifty (50) feet of street frontage.
- The street address shall be clearly visible for all homes.

### Other Tips and Recommendations

- All wall, gate and fencing materials should utilize materials and colors that are compatible with the architectural style of the home and surrounding neighborhood.
- Overly ornate and light-colored fencing materials are generally disruptive to neighborhood continuity.
- Plant materials (such as vines and espaliers) can be used to soften the appearance of walls.
- Both sides of walls and fences should be given architectural treatment.
- Natural materials are preferred, and concrete masonry unit (CMU) walls should incorporate decorative block styles. Slump block or split-face style.
- Landscaping should provide a mix of trees (preferably twenty-four inch (24") box or larger) and shrubs for variation.
- Shade plantings are encouraged, but plant materials should be located away from chimneys for fire safety.

- Patio materials should incorporate the same materials and colors as used on the main residence.
- Existing mature vegetation should be preserved to the extent feasible.
- Lot grading should ensure that runoff will enter approved drainages and not flow onto adjacent properties.
- Driveways on adjacent lots should be separated by a minimum distance of twenty (20) feet or designed as shared entries to minimize the hardscape and optimize open space and landscaping.
- Driveway alignments should follow the shortest possible route from street to garage, and should be separate from the pedestrian access.
- Decorative paving is encouraged on driveways where feasible.

■ **Incentives:**

- Usage of landscape materials to create separation between public and private space
- No front yard fencing
- Usage of natural materials, such as wood or stone
- Front yard fence less than four (4) feet
- Usage of a wide variety of drought tolerant plant materials, as well as, automatic irrigation with moisture sensors
- Usage of interlocking pavers, decomposed granite or other decorative hardscape materials for walkways and driveways

# ENTRIES, DOORS AND WINDOWS

## GENERAL GUIDELINES

**Entry Treatments:** Front entries often serve as the primary focal point of a residence, and should be oriented toward a public street, rather than being placed on sides of structures. To optimize this important feature, entries should be inviting, with a scale that is proportional to, and materials that complement, the pedestrian accessway and the overall appearance of the home. The entry and residential address should be clearly identifiable, and can be articulated with a roof and/or porch form that echoes the angles and forms of the overall home. In general, smaller entries help to create a more human scale to a home and neighborhood, and are

strongly encouraged for this reason. Recessed entries add an elegant and intimate touch. Strong vertical elements and massive doors create a more impersonal façade that dominates the neighborhood and is strongly discouraged.



**Entryway Scaled to Human Size**



**Exaggerated Front Entry**

**Window and Door Treatments:** Front-facing windows and doors are also central elements of exterior home design and composition, and it is important that these features harmonize with the design of the overall structure. Window frames and doors should utilize materials that are used in the home as a whole, window lites should be true divided and proportional, first and second floor windows and dormers should stack vertically, ideally

inset for shade and detail and of a size that is proportional to the size of the wall surface. Window glass should be selected to avoid or minimize glare. Awnings and shutters are encouraged where the materials match overall window shape and color and style, are proportional to window size, and complement the neighborhood character.



**Good Window Treatment**



**Recessed Windows**



**Proportional Shutters**



**Not Proportional Shutters**

**Outdoor Lighting:** Outdoor lighting should be the minimum required for safe movement and access, and can add drama to landscaping and create a warm and inviting entry. At the same time, outdoor lighting can interfere with the privacy of neighboring homes, reduce night-sky visibility, result in unnecessary energy consumption and diminish neighborhood continuity.

## STANDARDS AND INCENTIVES

### ■ Standards:

- Entry treatments shall have a maximum total height of twelve (12) feet for single story homes and fourteen (14) feet for two-story homes.
- Bay windows shall not exceed the height of one (1) story.

### ■ Incentives:

- Usage of windows that are recessed a minimum of four (4) inches on the front elevation
- Usage of true divided light windows, doors and side lights
- Usage of single-hung or double-hung windows

## Other Tips and Recommendations

- Window articulation (including sills, insets, trim, shutters and awning) is encouraged.
- Foam pop-outs for door, window and trim details is discouraged. Pre-cast concrete molding is preferred.
- Windows facing onto window structures on adjacent homes should be staggered for privacy.
- Windows, doors and entry treatments should incorporate muted colors and natural materials that are consistent with the original structure.
- Electronic security devices are preferred to the use of security bars on windows.
- Unusual hinges, joints and fixtures can add interest to window, door and entry treatments. Similarly, dramatic headers, beveled sills, pilasters and stepped parapets at stairways can also provide distinction
- Outdoor lighting should be the minimum required for safety, and should be placed in a manner that balances lit and unlit areas.
- Purely decorative lighting is discouraged except for holiday periods and festive events.



## INCENTIVE BONUS PROGRAM AT A GLANCE

PROPOSED FLOOR AREA RATIO (FAR) BONUS	QUALIFYING DESIGN ELEMENTS
<b>1.5% FAR BONUS</b>	<ul style="list-style-type: none"> <li>■ Garages placed at the rear of the lot and not visible from the street</li> <li>■ Usage windows that are recessed a minimum of 4 inches on the front elevation</li> <li>■ Eave overhangs of 18-inches or more with exposed decorative rafter tails</li> <li>■ Porch design that extends over a minimum 50% of the front elevation</li> </ul>
<b>1.0% FAR BONUS</b>	<ul style="list-style-type: none"> <li>■ Landscape plan with 3 or more mature trees (defined as 24" box or larger)</li> <li>■ Second floor fully contained within a pitched roof</li> <li>■ Use of true divided-light windows, doors and side lights</li> </ul>
<b>0.5% FAR BONUS</b>	<ul style="list-style-type: none"> <li>■ Tandem garage design</li> <li>■ Second story top plate that does not exceed 20 feet in height</li> <li>■ Both side yard setbacks that exceed the zoning minimum by more than 5 feet</li> <li>■ Second floor setback that exceeds the zoning minimum by more than 10 feet on 75% of the front elevation</li> <li>■ Second floor setback that exceeds the zoning minimum by more than 5 feet on one side elevation</li> <li>■ Any new single-story home (instead of two-story)</li> <li>■ Use of single-hung or double-hung windows on the front elevation</li> <li>■ Use of landscape materials instead of fencing to create separation between public and private spaces</li> <li>■ No front yard fencing or fencing lower than 4 feet in height</li> <li>■ Use of natural architectural materials (such as wood and stone)</li> <li>■ Use of drought-tolerant plant materials and automatic irrigation with moisture sensors</li> <li>■ Use of interlocking pavers, decomposed granite or other decorative hardscape materials for walkways and driveways</li> </ul>